

GENERAL NOTES:

1. THE BENNETT TOWN ENGINEER'S SIGNATURE AFFIX TO THIS DOCUMENT INDICATES, THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE BENNETT REGULATIONS OR APPROVED VARIANCES TO THOSE REGULATIONS. THE BENNETT TOWN ENGINEER THROUGH ACCEPTANCE OF THIS DOCUMENTS ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT IT IS THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
2. ALL ROADWAY CONSTRUCTION OUTSIDE CDOT RIGHT-OF-WAY SHALL CONFORM TO THE TOWN OF BENNETT'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS. ALL WORK WITHIN CDOT RIGHT-OF-WAY SHALL CONFORM TO CDOT STANDARDS AND SPECIFICATIONS AND CDOT M & S STANDARD PLANS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN'S ENGINEERING DIVISION. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION OR THE DEPARTMENT OF PUBLIC WORKS A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO ACTUAL CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (ACCEPTED BY THE TOWN ENGINEER) AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND (1) SIGNED COPY OF THE CDOT ACCESS PERMIT AT THE JOB SITE AT ALL TIMES.
7. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN AND CDOT FOR ACCEPTANCE WITH THE PERMIT APPLICATION. AN EXCAVATION OR PUBLIC IMPROVEMENT CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
8. THE CONSTRUCTION PLAN SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF TOWN ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE TOWN OF BENNETT.
9. SQUEEGEE BEDDING IS NOT ALLOWED FOR UTILITY TRENCHES WITHIN CDOT RIGHT-OF-WAY.
10. QUIKRETE OR HAND MIXED CONCRETE IS NOT ALLOWED IN CDOT RIGHT-OF-WAY.
11. FLOWFILL IS ALLOWED FOR EMERGENCY OR PROBLEM AREA WITH OTHER UTILITIES WITHIN CDOT RIGHT-OF-WAY.
12. CONCRETE IN CDOT RIGHT-OF-WAY MUST BE A PRE-APPROVED MIX AND ASPHALT MUST HAVE CDOT FORM 43.

PEARL STREET CIVIL DESIGN DRAWINGS

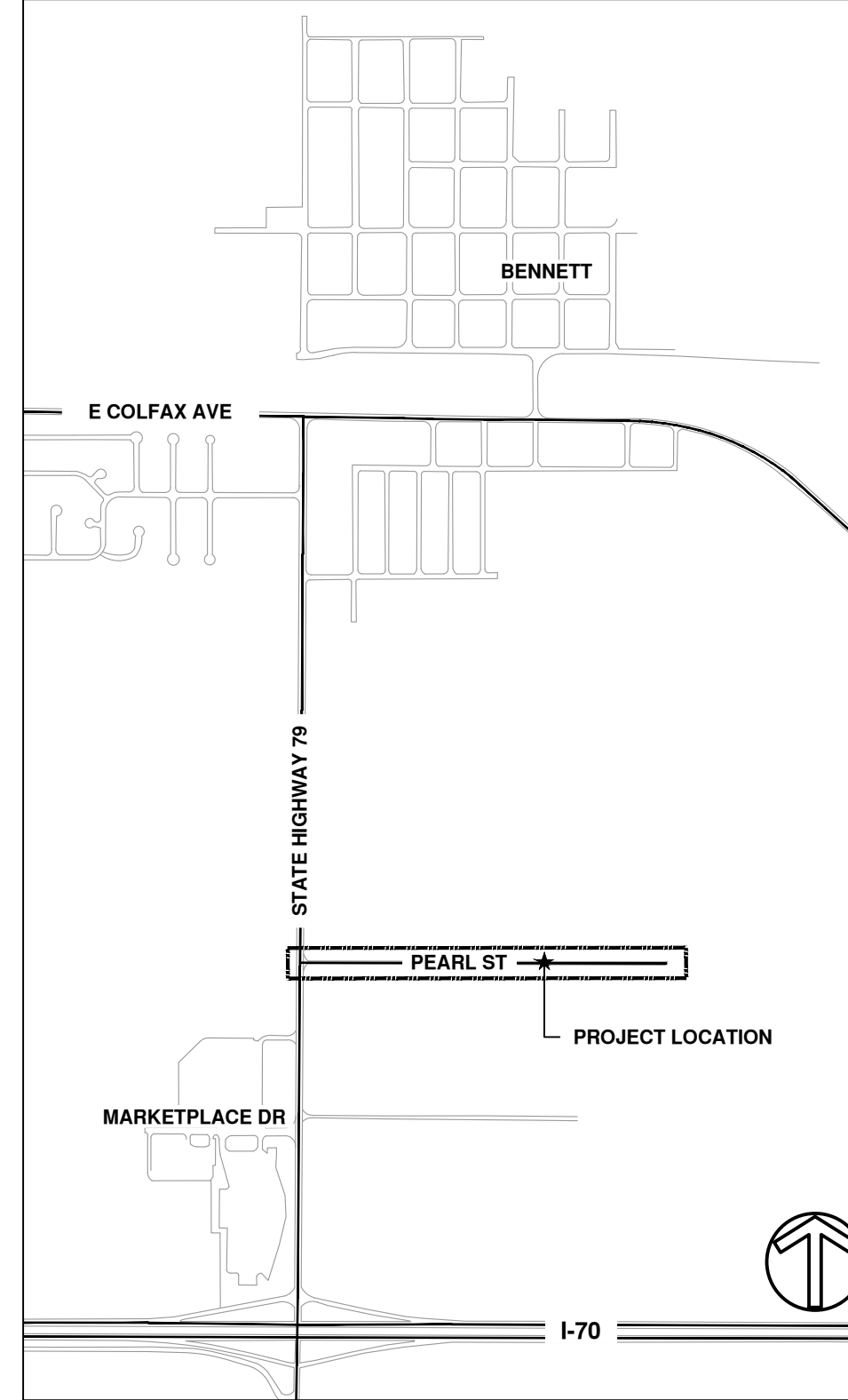
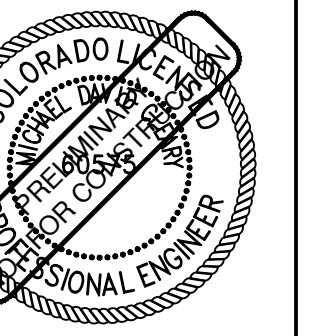
BENNETT CROSSING FILINGS 1 & 3

A PORTION OF THE WEST HALF OF SECTION 34

TOWNSHIP 3 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF BENNETT, COUNTY OF ADAMS, STATE OF COLORADO



ENGINEER IN CHARGE:

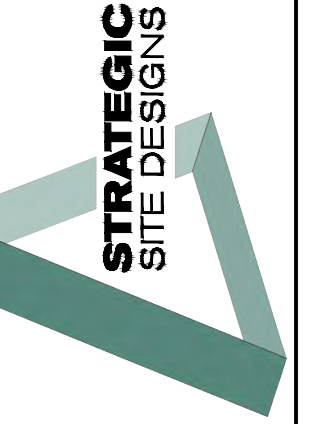


VICINITY MAP

SCALE: 1" = 1200'

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C8.00	DETAILS
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C9.00	SIGNAGE AND STRIPING PLAN

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TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

COVER SHEET

ENGINEERS CERTIFICATION:

"I HEREBY AFFIRM THAT THESE ROADWAY CONSTRUCTION PLANS WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF BENNETT STANDARDS."



REGISTERED PROFESSIONAL ENGINEER
STATE OF COLORADO

THESE PLANS ARE REVIEWED FOR CONCEPT ONLY, AND THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE TOWN ENGINEER, OR THE TOWN OF BENNETT FOR ACCURACY AND CORRECTNESS OF CALCULATIONS. THE REVIEW DOES NOT IMPLY THAT THE QUANTITIES OF ITEMS INDICATED ON THE PLAN(S) ARE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINAL RESPONSIBILITY BY THE TOWN OR REVIEWING DEPARTMENTS FOR ADDITIONAL ITEMS AND ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH
THE TOWN OF BENNETT
STANDARD SPECIFICATIONS

ACCEPTED FOR ONE YEAR FROM THIS DATE:

TOWN ENGINEER _____ DATE: _____

REV	DESCRIPTION	BY	DATE

JOB NO: 2407-001

ORIGINAL ISSUE: 3/6/2024

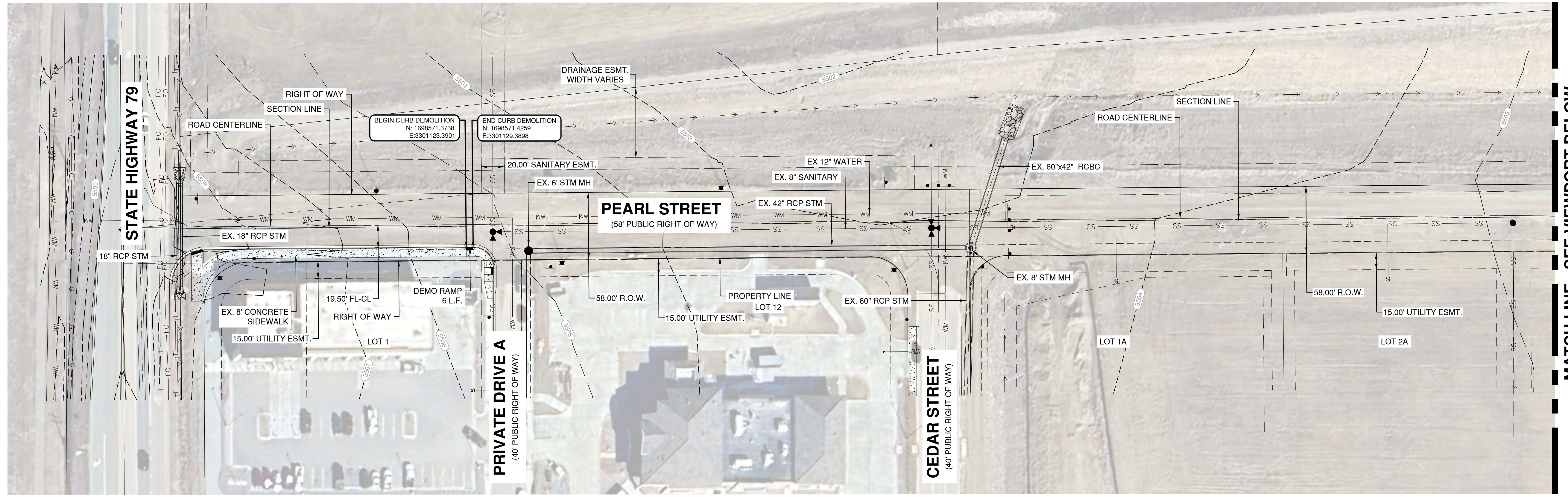
DESIGN BY: AS

CHECKED BY: MDC

SCALE: NA

SHEET NUMBER

C1.00



EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1"=50'

MATCH LINE - SEE VIEWPORT BELOW



MATCH LINE - SEE VIEWPORT ABOVE

EXISTING CONDITIONS AND DEMOLITION PLAN

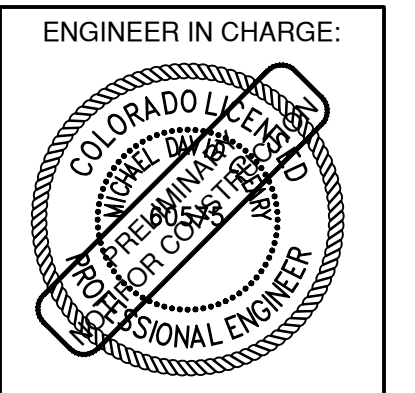
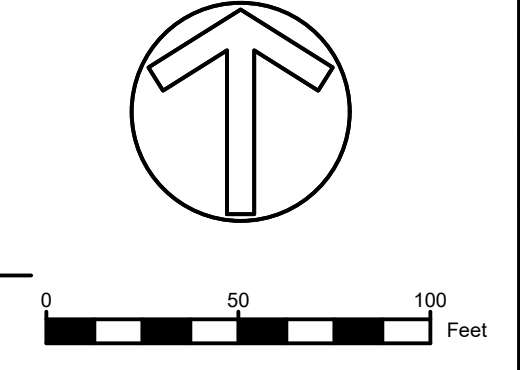
SCALE: 1"=50'

GENERAL DEMOLITION DEVELOPMENT NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED PRE-CONSTRUCTION CONFERENCES AND COORDINATING INSPECTIONS WITH THE GOVERNING JURISDICTION
2. EROSION AND SEDIMENT CONTROL (ESC) MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND SUPPLEMENTAL RECOMMENDATIONS BY THE JURISDICTION AND SHALL BE MAINTAINED AT THE CONTRACTORS EXPENSE THROUGHOUT CONSTRUCTION.
3. ALL ESC PERIMETER CONTROLS SHALL BE IN PLACE, INSPECTED AND APPROVED PRIOR TO COMMENCING DEMOLITION
4. CONTRACTOR SHALL PROTECT ALL IMPROVEMENTS SHOWN AS EXCLUDED FROM DEMOLITION HEREIN.
5. ALL EXISTING UTILITY SERVICES TO THE PROPERTY SHALL BE MAINTAINED AND OPERATIONAL THROUGHOUT CONSTRUCTION UNLESS OTHERWISE SPECIFIED BY THE OWNER.
6. DEMOLITION WITHIN THE RIGHT OF WAY WILL REQUIRE A TRAFFIC CONTROL PLAN (TCP) FOR A PARTIAL LANE CLOSURE. ALL TCP'S ARE THE CONTRACTORS RESPONSIBILITY.
7. SHOULD DIFFERING SITE CONDITIONS BE OBSERVED, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SO CORRECTIVE ACTION (IF REQUIRED) MAY BE TAKEN AND APPROVED PRIOR TO INSTALLATION.

LEGEND

- 8" W ——— EXISTING WATER LINE
- 8" SS ——— EXISTING SANITARY SEWER
- 8" SSS ——— EXISTING STORM SEWER
- — — — — RIGHT OF WAY
- — — — — PROPERTY LINE
- — — — — VERTICAL CURB AND GUTTER
- — — — — CONCRETE (PER SECTIONS THIS SHEET)
- — — — — UTILITY EASEMENT
- — — — — VERTICAL CURB AND GUTTER
- — — — — MOUNTABLE CURB AND GUTTER
- ——— EXISTING FIRE HYDRANT
- ——— EX. STORM MANHOLE



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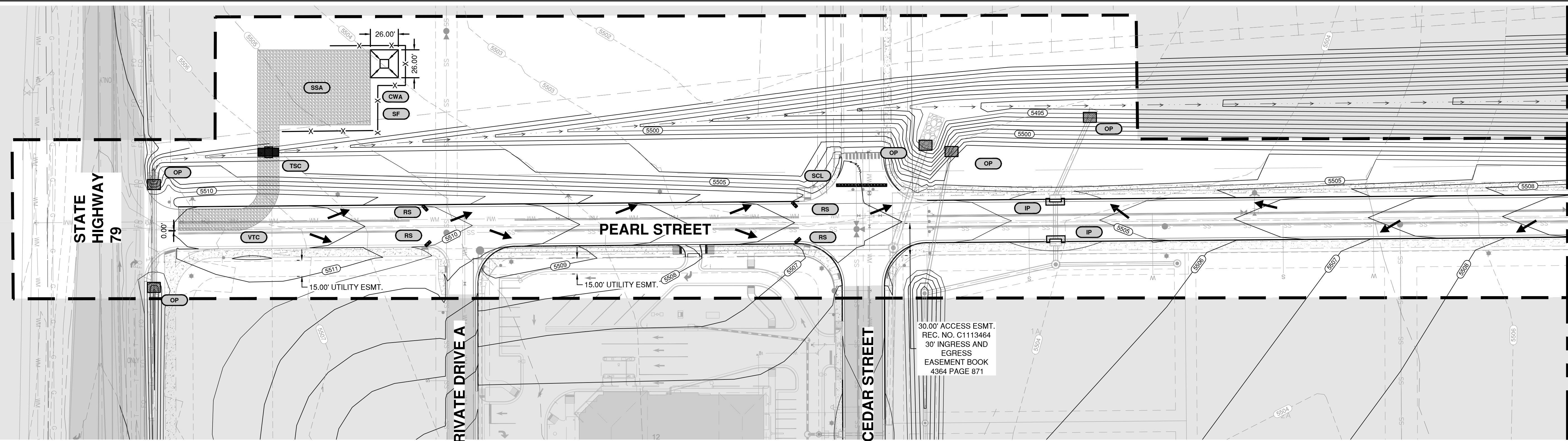
TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

EXISTING CONDITIONS AND DEMO PLAN

REV	DESCRIPTION	DATE

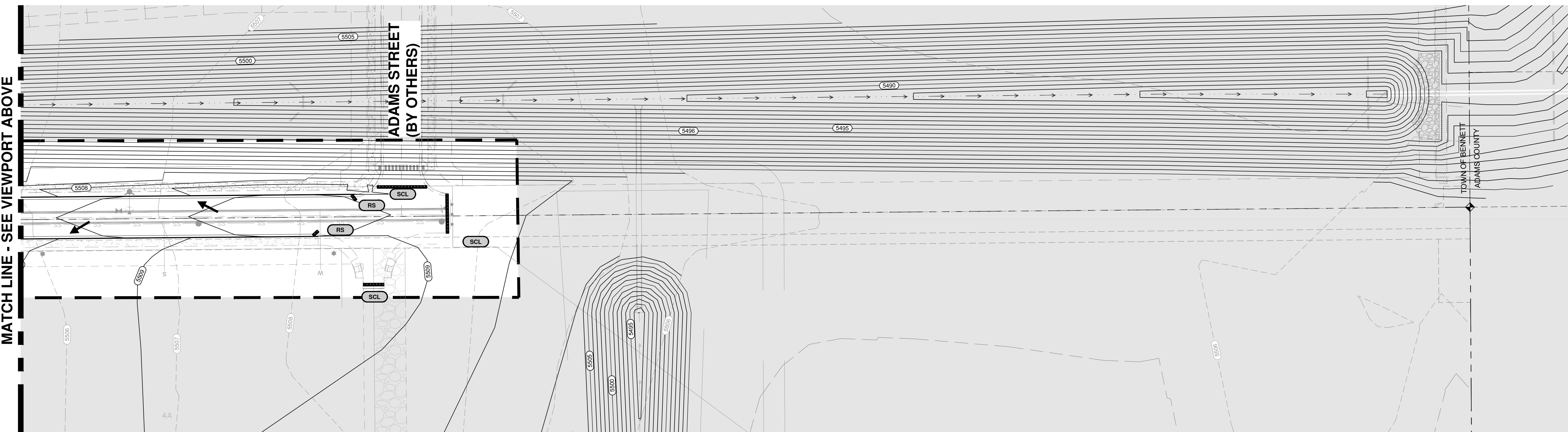
JOB NO: 2407-001
 ORIGINAL ISSUE: 3/6/2024
 DESIGN BY: AS
 CHECKED BY: MDC
 SCALE: 1"=50'
 SHEET NUMBER

C2.00



GRADING AND EROSION CONTROL PLAN

SCALE: 1" = 50'



GRADING AND EROSION CONTROL PLAN

SCALE: 1" = 50'

VTC NOTES:
 CONTRACTOR TO ENSURE ALL WHEELS ARE FREE OF MUD AND DEBRIS PRIOR TO ENTERING THE HIGHWAY. IF REQUIRED, PROVIDE A WHEEL WASH LOCATION AND DRAIN TO AN APPROVED SEDIMENT TRAPPING DEVICE

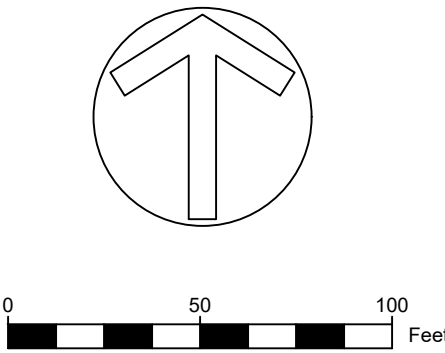
NOTES:
 EROSION CONTROL PLAN AND BEST MANAGEMENT PRACTICES ARE APPROVED FOR GUIDELINE ONLY

- EROSION AND SEDIMENT CONTROL AND RELATED IMPACTS ARE MONITORED AND EVALUATED ON A PERFORMANCE BASIS. THE DEVELOPER WILL BE REQUIRED TO ADDRESS ADVERSE AREA IMPACTS DUE TO DEVELOPMENT DISTURBANCE WHETHER THE ECP AND BMP'S ARE BEING FOLLOWED OR NOT.
- ADDITIONAL INTERVENTIONS AND MITIGATION WILL BE PROVIDED BY THE DEVELOPER IF - AND AS-NEEDED.

- ESC SEQUENCE OF CONSTRUCTION:**
1. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE FULL SCOPE OF WORK PROPOSED HEREIN.
 2. PRIOR TO COMMENCING ANY ON-SITE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONSTRUCTION TEAM AND THE TOWN STAFF TO DISCUSS SPECIFICS RELATED TO INSPECTION REQUIREMENTS, FIELD CHANGES, ETC.
 3. UPON APPROVAL FROM TOWN PERSONNEL, THE CONTRACTOR SHALL COMMENCE INSTALLATION OF ALL PERIMETER CONTROLS.
 4. WHERE DEMOLITION OF EXISTING SITE FEATURES IS REQUIRED TO INSTALL EROSION CONTROL DEVICES, THE CONTRACTOR SHALL UTILIZE THE MOST EFFECTIVE BMP TO TREAT RUNOFF.
 5. GIVEN THE NATURE OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE A PORTION OF EXISTING CONCRETE AND THE CONCRETE CURB CUT AS THE PRIMARY ACCESS DURING CONSTRUCTION. IF EARTHWORK OPERATIONS REQUIRE VEHICLE WASHING, ALL WASHING SHALL BE COMPLETED ON-SITE WITH WASH WATER DRAINING TO AN APPROVED ESC DEVICE. NO MUD SHALL BE TRACKED ONTO CEDAR STREET.
 6. SHOULD TRACKING OCCUR, THE CONTRACTOR SHALL EMPLOY A STREET SWEEPER. ONCE DEMOLITION AND EARTHWORK COMMENCES, THE CONTRACTOR SHALL WORK TOWARDS DIRECTING ALL RUNOFF TO APPROVED SEDIMENT TRAPPING DEVICES
 7. ONCE ALL HARD-SPACE IS IN PLACE, STABILIZE ANY ANY REMAINING DENUDEED AREAS IN ACCORDANCE WITH THE LANDSCAPE PLANS OR ESC PLANS.
 8. OBTAIN APPROVAL FROM LOCAL JURISDICTION TO REMOVE ALL REMAINING EROSION CONTROL DEVICES.
 9. ANY DEVIATION FROM THE APPROVED GESC PLANS SHALL BE FIELD COORDINATED WITH THE TOWN OF BENNETT'S GESC INSPECTION PERSONNEL.

- BMP LEGEND**
- CD CHECK DAM
 - CWA CONCRETE WASHOUT AREA
 - CF CONSTRUCTION FENCE
 - ECB EROSION CONTROL BLANKET
 - IP INLET PROTECTION
 - CIP CULVERT INLET PROTECTION
 - RCS ROUGH CUT STREET CONTROL
 - PSMU PERMANENT SEED & MULCH
 - SF SILT FENCE
 - SSA STABILIZED STAGING AREA
 - VTC VEHICLE TRACKING CONTROL
 - LOC LIMITS OF CONSTRUCTION
 - OP OUTLET PROTECTION
 - SCL SEDIMENT CONTROL LOG
 - RS ROCK SOCK
 - TSC TEMPORARY STREAM CROSSING

- LEGEND**
- 36" W RIGHT OF WAY / PROPERTY LINE
 - EXISTING WATERMANS
 - PROPOSED WATERMANS
 - SSWR PROPOSED SANITARY SEWER
 - SS-FM PROPOSED SANITARY SEWER FORCEMAIN
 - STORM SEWER
 - VERTICAL CURB AND GUTTER (2' CATCH)
 - VERTICAL CURB AND GUTTER (1' SPILL)
 - MOUNTABLE CURB AND GUTTER (2' CATCH)
 - MOUNTABLE CURB AND GUTTER (2' SPILL)
 - CONCRETE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - CDOT TYPE "R" INLET



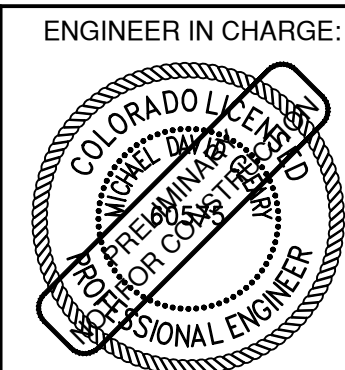
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TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

EROSION AND SEDIMENT CONTROL PLAN

REV	DATE	DESCRIPTION	JOB NO:
			2407-001
			ORIGINAL ISSUE: 3/6/2024
			DESIGN BY: AS
			CHECKED BY: MOC
			SCALE: 1"=50'
			SHEET NUMBER
			C3.00



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TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

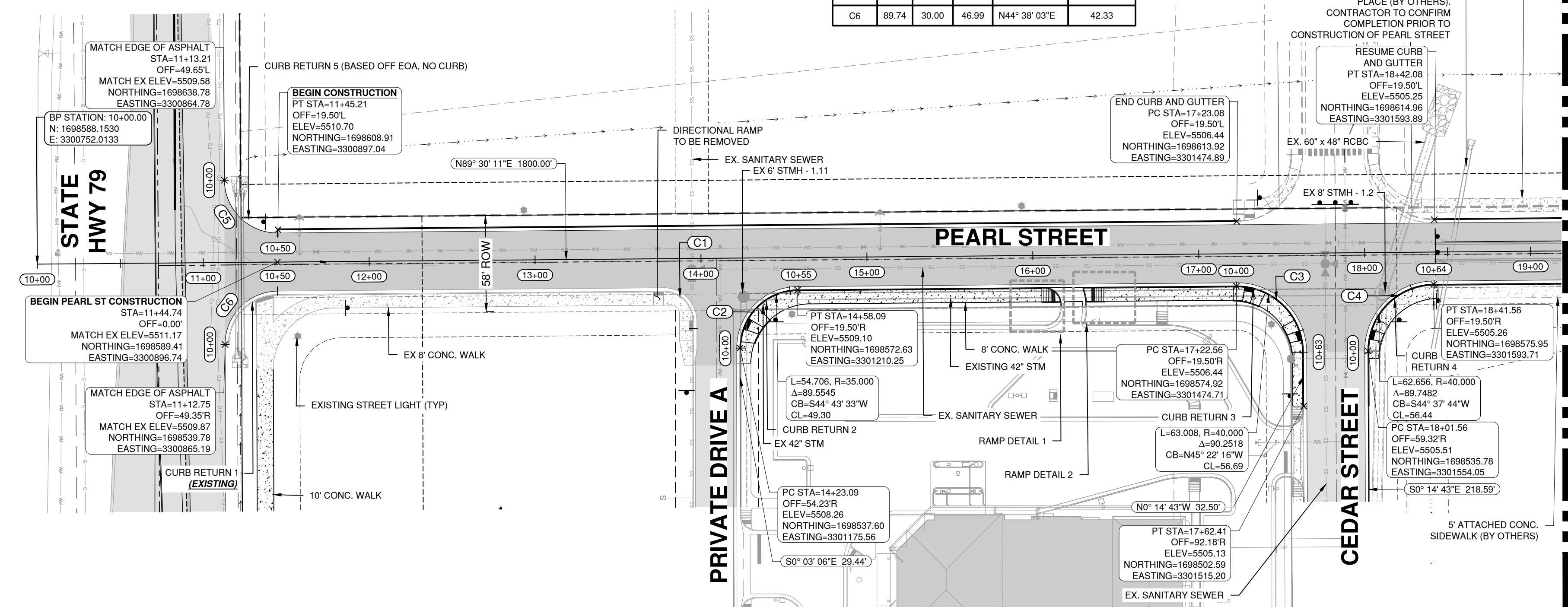
ROADWAY P&P

REV	DATE	DESCRIPTION
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ORIGINAL ISSUE:		3/6/2024
DESIGN BY:		AS
CHECKED BY:		MDC
SCALE:		1"=50'
SHEET NUMBER:		C5.00

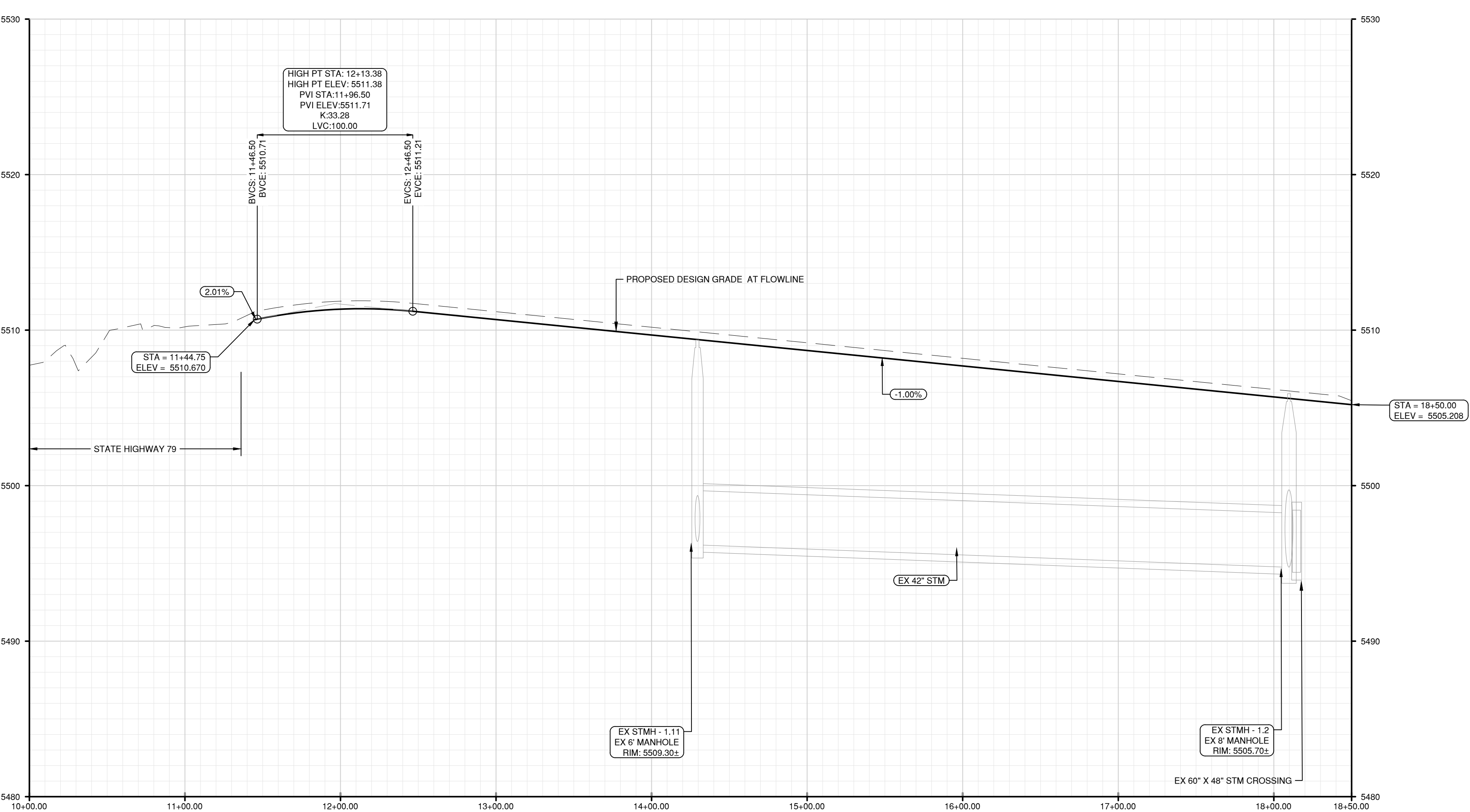
REFER TO PLAN SHEET C9.00 FOR SIGNAGE AND STRIPING INFORMATION

Curve #	Delta	Radius	Length	Chord Direction	Chord Length
C1	90.45	17.50	27.63	N45° 16' 27"W	24.84
C2	89.55	34.50	53.92	S44° 43' 33"W	48.60
C3	90.25	39.50	62.22	N45° 22' 16"W	55.98
C4	89.75	39.50	61.87	N44° 37' 44"E	55.74
C5	90.26	30.00	47.26	S45° 21' 57"E	42.52
C6	89.74	30.00	46.99	N44° 38' 03"E	42.33

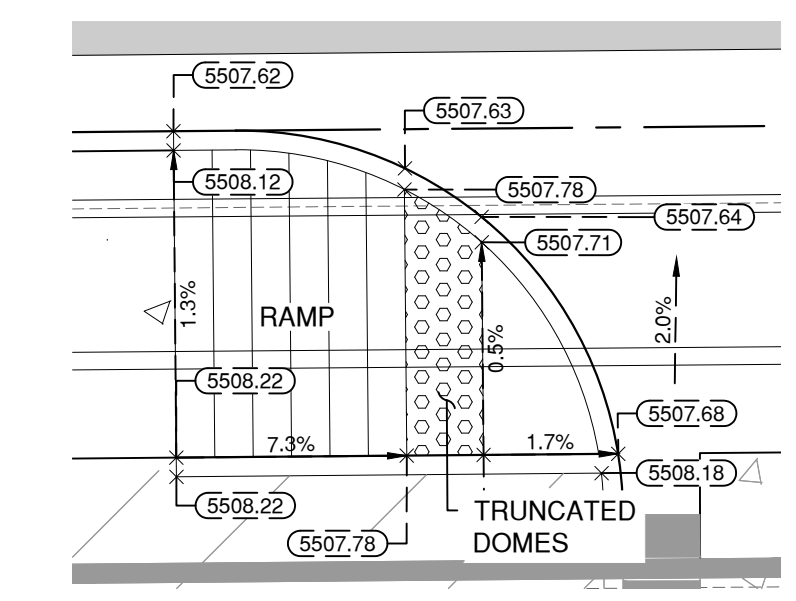
CURVE C1, C5, AND C6 ARE EXISTING. ALL CURVES BASED OFF FLOWLINE. C5 IS FOR REFERENCE ONLY AND NO CURB IS PROPOSED HERE.



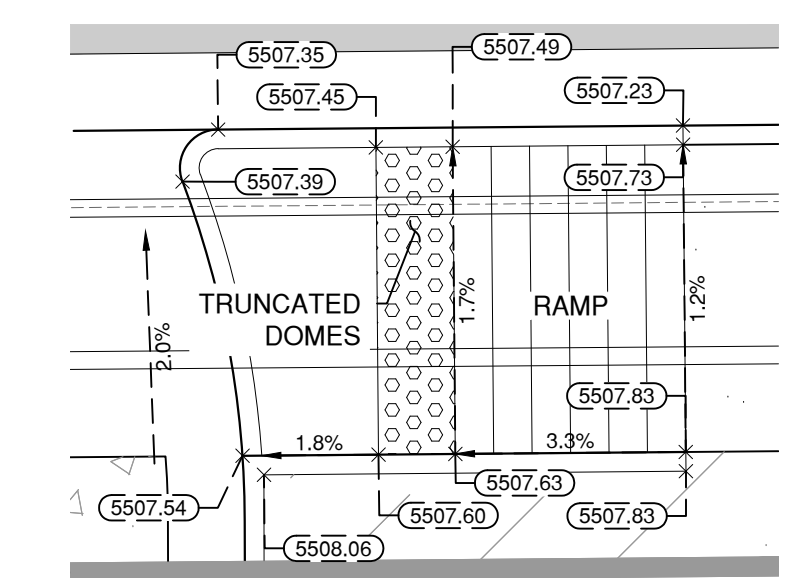
PEARL STREET - ROADWAY PLAN VIEW STA 10+00 TO 18+50
SCALE: 1" = 50'



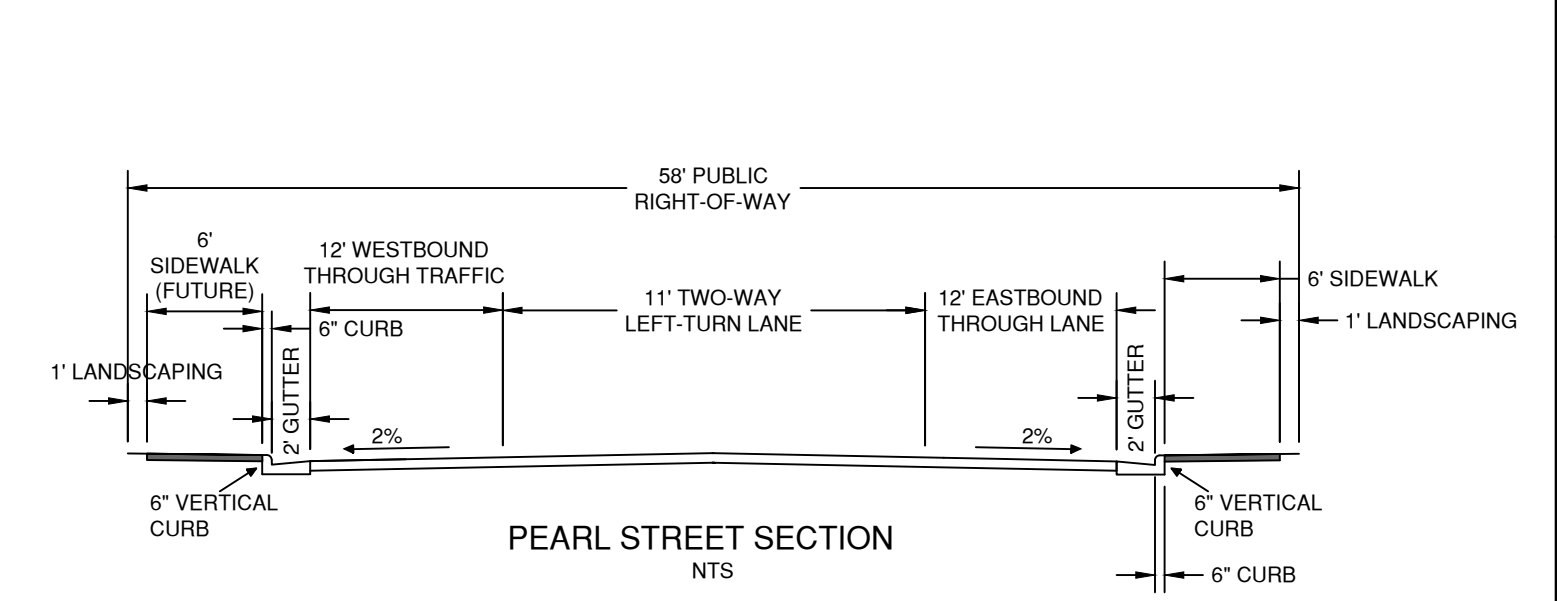
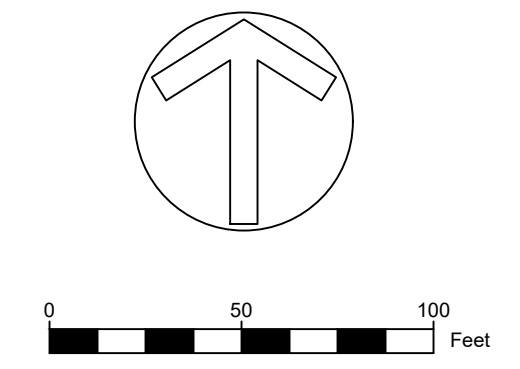
PEARL STREET - ROADWAY PROFILE VIEW STA 10+00 TO 18+50
SCALE: 1" = 50' (H), 1"=5' (V)



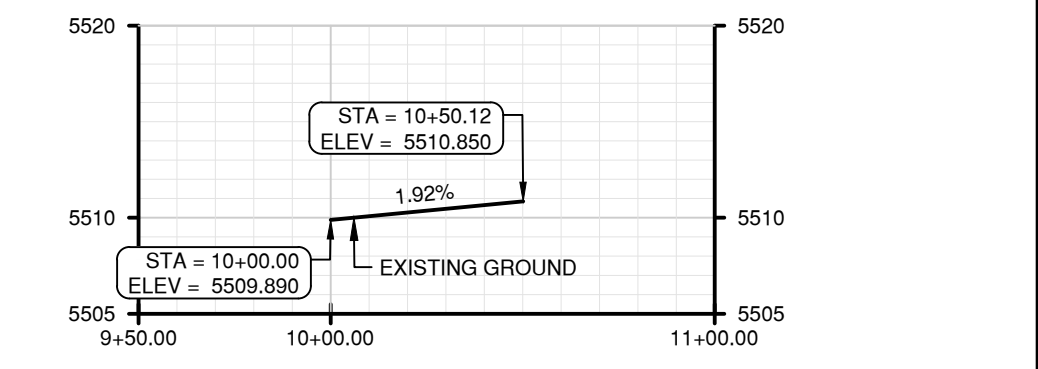
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SCALE: 1"=5'



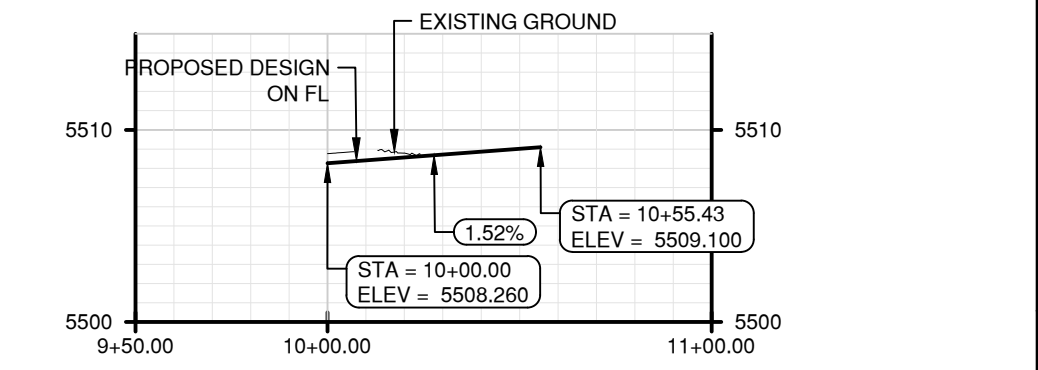
RAMP DETAIL 2
SCALE: 1"=5'



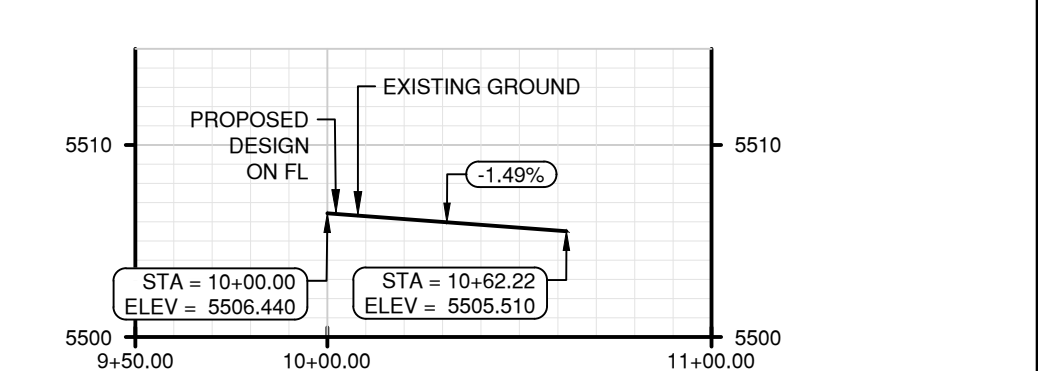
PEARL STREET SECTION
NTS



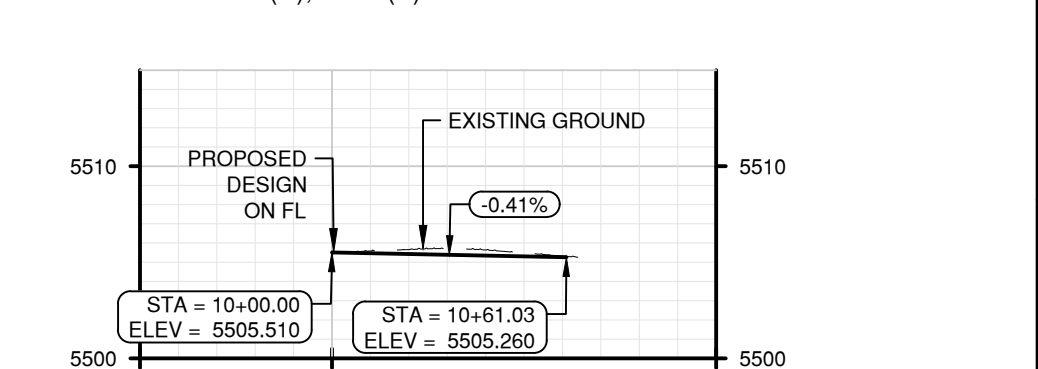
EX CURB RETURN 1 - PROFILE VIEW
SE CORNER OF HWY 79 AND PEARL
SCALE: 1" = 50' (H), 1"=5' (V)



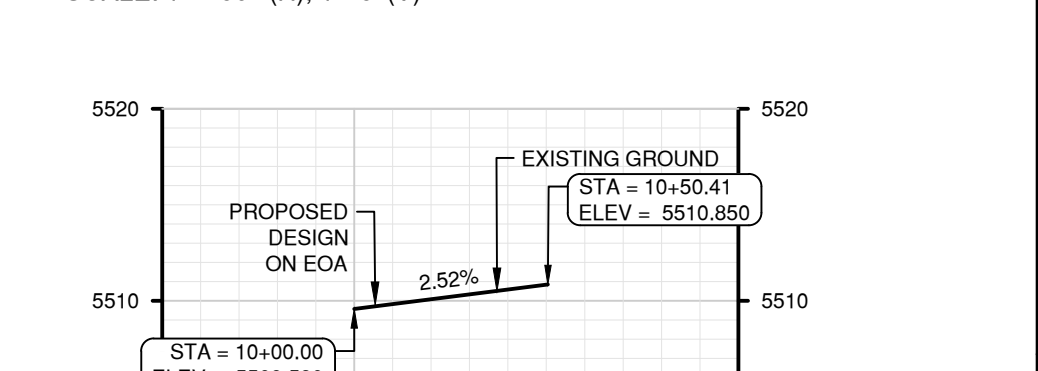
CURB RETURN 2 - PROFILE VIEW
SE CORNER OF PRIVATE DR A AND PEARL
SCALE: 1" = 50' (H), 1"=5' (V)



CURB RETURN 3 - PROFILE VIEW
SW CORNER OF CEDAR AND PEARL
SCALE: 1" = 50' (H), 1"=5' (V)



CURB RETURN 4 - PROFILE VIEW
SE CORNER OF CEDAR AND PEARL
SCALE: 1" = 50' (H), 1"=5' (V)



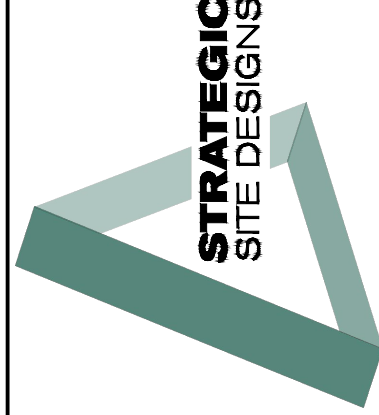
CURB RETURN 5 - PROFILE VIEW
NE CORNER OF HWY 79 AND PEARL
SCALE: 1" = 50' (H), 1"=5' (V)



- LEGEND**
- EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - RIGHT OF WAY
 - PROPERTY LINE
 - VERTICAL CURB AND GUTTER
 - CONCRETE (PER SECTIONS THIS SHEET)
 - UTILITY EASEMENT
 - VERTICAL CURB AND GUTTER
 - MOUNTABLE CURB AND GUTTER
 - EXISTING FIRE HYDRANT
 - EX. STORM MANHOLE



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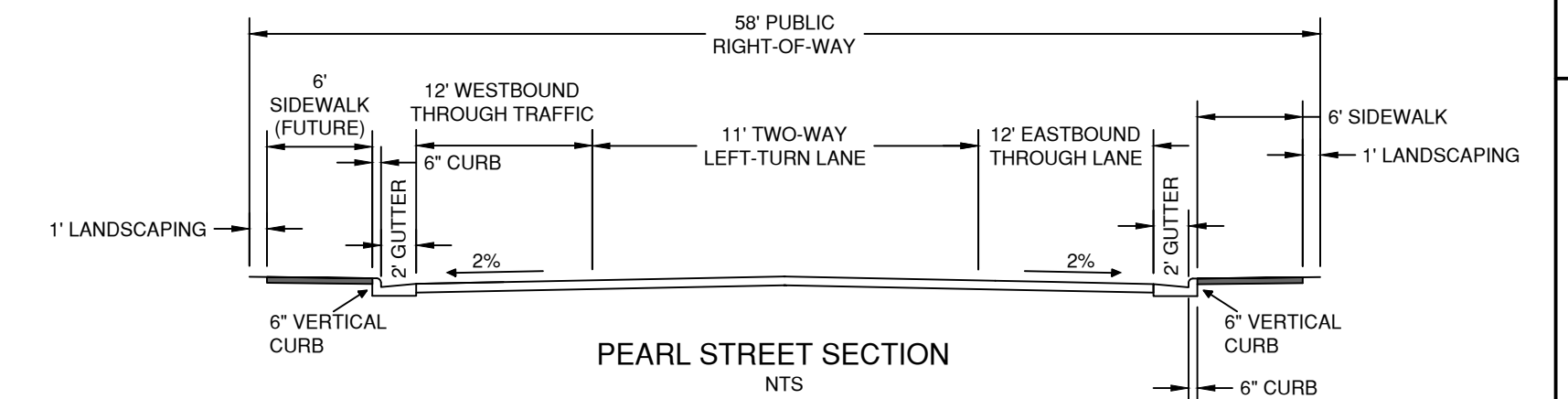


TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
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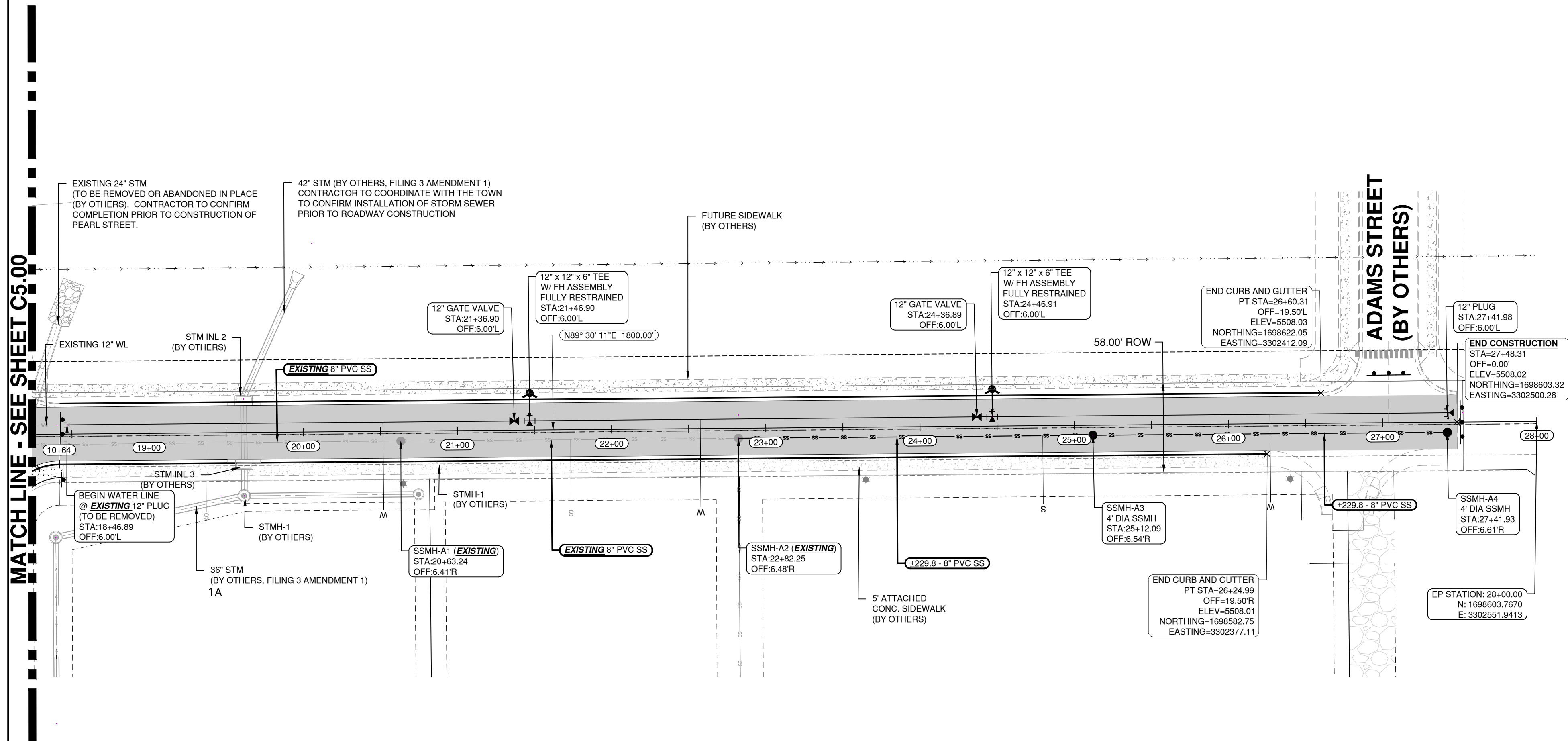
ROADWAY P&P

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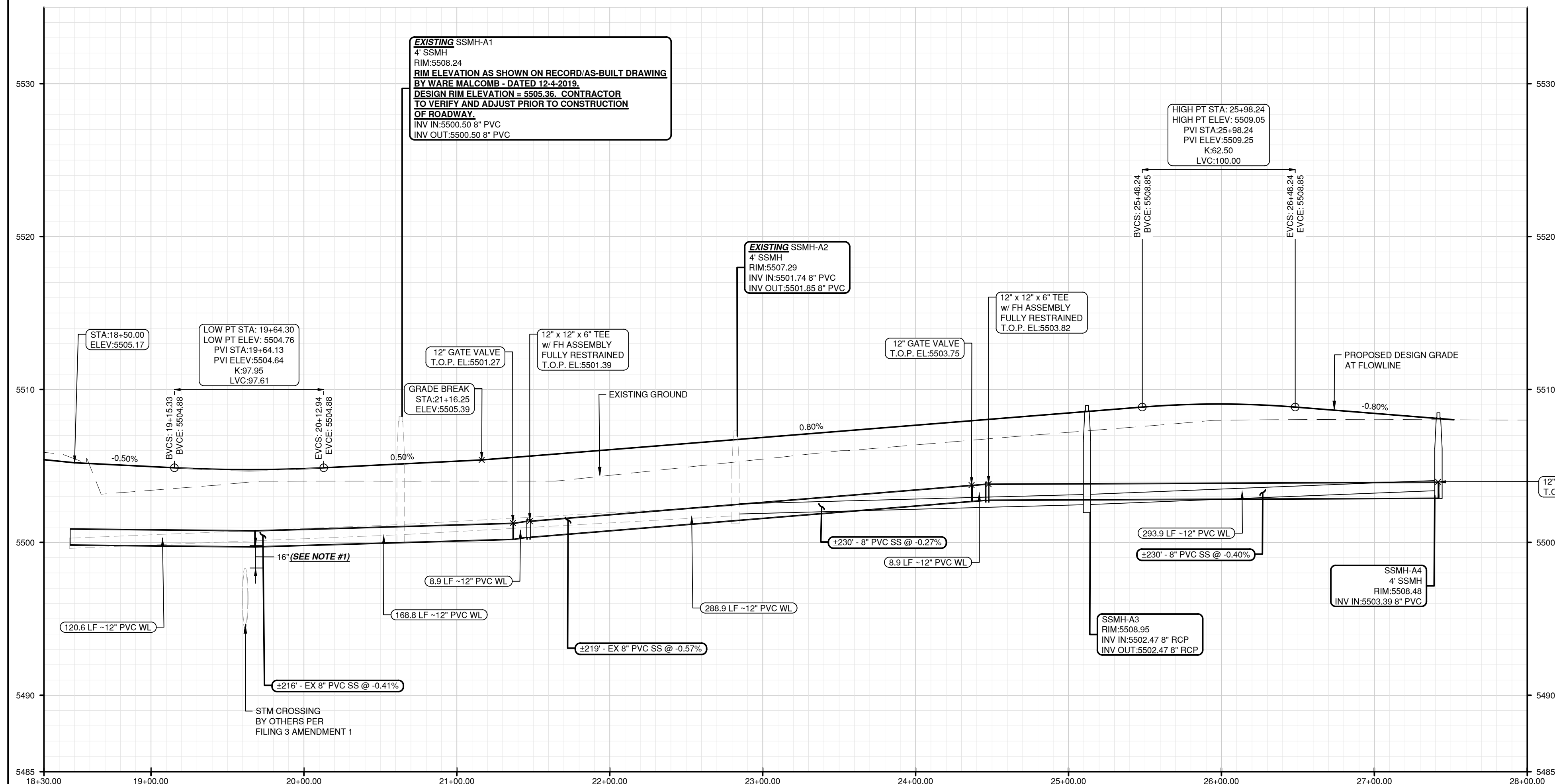


NOTE: EXISTING UTILITIES REFLECT RECORD DRAWING AS-BUILTS PREPARED BY WARE MALCOMB DATED 12-4-2019. CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION.



PEARL STREET - ROADWAY PLAN VIEW STA 18+50 TO 28+00

SCALE: 1" = 50'

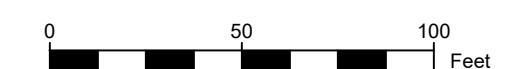
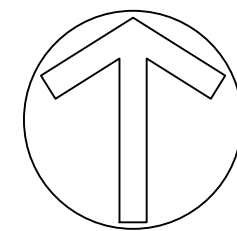


PEARL STREET - ROADWAY PROFILE VIEW STA 18+50 TO 28+00

SCALE: 1" = 50' (H), 1"=5' (V)

NOTE #1:

PROVIDE CONCRETE ENCASEMENT OF THE WATER AS REQUIRED FOR CLEARANCES OF 18 INCHES OR LESS PER TOWN OF BENNETT WATER UTILITY STANDARDS



LEGEND

- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- RIGHT OF WAY
- PROPERTY LINE
- VERTICAL CURB AND GUTTER
- CONCRETE (PER SECTIONS THIS SHEET)
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- EX. STORM MANHOLE

ENGINEER IN CHARGE:



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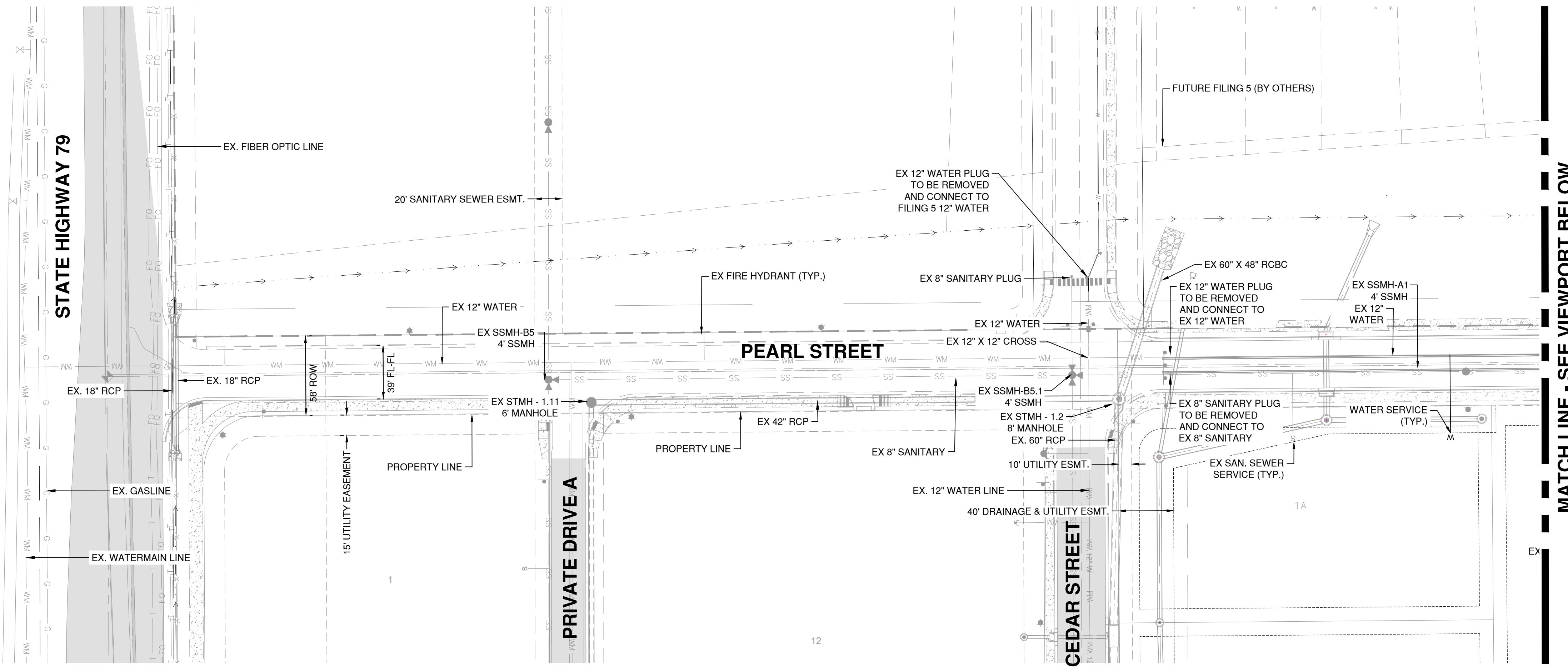
TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

OVERALL UTILITY
PLAN

REV	DESCRIPTION	DATE

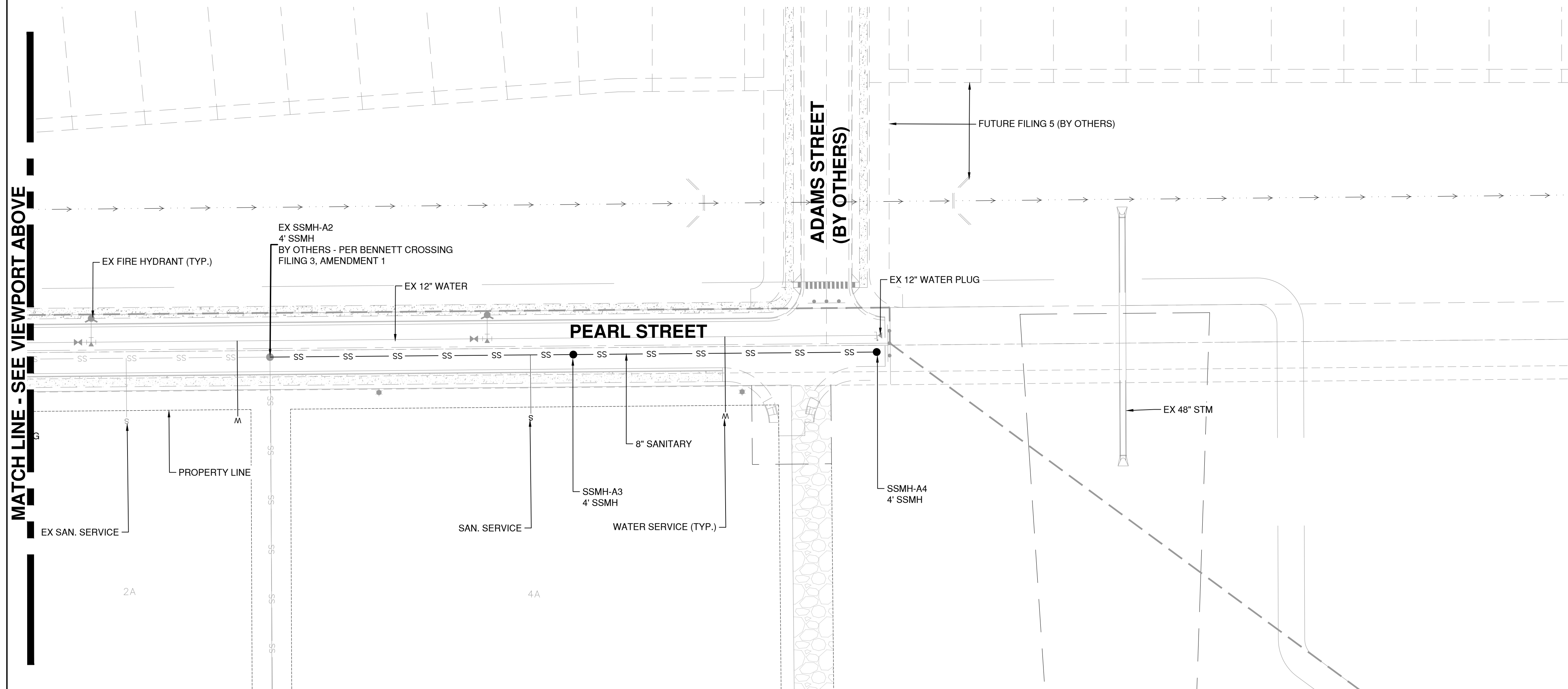
JOB NO: 2407-001
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C6.00



PEARL STREET - OVERALL UTILITY PLAN VIEW

SCALE: 1" = 50'



PEARL STREET - OVERALL UTILITY PLAN VIEW

SCALE: 1" = 50'

0 50 100 Feet

LEGEND

- 8" W EXISTING WATER LINE
- 8" SS EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- RIGHT OF WAY
- PROPERTY LINE
- VERTICAL CURB AND GUTTER
- CONCRETE (PER SECTIONS THIS SHEET)
- UTILITY EASEMENT
- VERTICAL CURB AND GUTTER
- MOUNTABLE CURB AND GUTTER
- EXISTING FIRE HYDRANT
- EX. STORM MANHOLE

ROADSIDE SIGN IN BUSINESS, COMMERCIAL, OR RESIDENTIAL AREA

ROADSIDE SIGN IN RURAL AREA

LATERAL PLACEMENT

KEY	LOCAL STREETS		COLLECTORS & ARTERIALS	
	MINIMUM	NORMAL	MINIMUM	NORMAL
A	8'-0"	12'-0"	12'-0"	14'-0"

VERTICAL PLACEMENT (MINIMUM)

KEY	URBAN		RURAL	
	WITH SIDEWALKS	WITHOUT SIDEWALKS	WITH SIDEWALKS	WITHOUT SIDEWALKS
D	7'-0"	7'-0"	N/A	5'-0"
E	7'-0"	7'-0"	N/A	4'-0"

Scale: N.T.S.
Issued: 01/23/16
Revised:
Drawing No. 4-50

Square Steel Tube (Perforated)

Post Support: Posts can be driven into the ground. Do not place concrete around the post. A broken or damaged post is easier to remove if it is not driven or set into the ground more than three feet.

Breakaway Devices: Sleeve assemblies like the one shown in the lower drawing will increase the safety of a sign when it is hit and make it easier to repair. After the sign has been hit, the broken stub of the post can be removed from the base sleeve and a new sign post put back in place.

Maximum Post Size

Max. Sign Panel	Post Size
30" x 30"	2.25" x 2.25"
	x 0.105"

Sign Panels. Attach the sign panels tightly to the post and use oversized washers to keep the sign from breaking loose from the post when a vehicle hits it. Sign panels should be mounted a minimum of 7 feet above the pavement or ground.

There are many other products available commercially for sign supports. Use depends on local requirements and costs. This publication only shows four of the most common types of small sign supports.

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 56

The following notes are applicable to all roadway sections identified on preceding pages (local, minor collector, major collector, minor arterial and major arterial), unless modifications are approved in writing by the Director of Public Works.

NOTES:

- Gutters shall be at least 6" thick.
- All combination curb, gutter and sidewalks to be 6" thick (min.). Sidewalks with vertical curb and gutter may be 4" thick.
- Total pavement thickness to be determined by pavement design procedures of this Manual.
- Placement, moisture and density control for subgrade, subbase and surfacing materials shall be in conformance with the requirements of Chapter of the Roadway Design and Construction Standards.
- Non-landscaped median islands shall be covered with an acceptable impermeable surface.
- Arterial right turn accel/decel lanes can be eliminated, with inclusion of appropriate tapers, if the distance between intersecting streets and/or curb cuts is 1/2 mile or greater.
- Legend

P = Parking Allowed
NP = No Parking Allowed
↑ = Laneage

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 57

TYPICAL LOCATIONS—STOP SIGNS AND YIELD SIGNS

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 53

STREET NAME ASSEMBLY LOCATIONS

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 52

STREET SIGN ASSEMBLY

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 51

WARNING SIGN PLACEMENT

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 49

CURB, GUTTER & WALK VERTICAL CURB

Scale: N.T.S.
Issued: _____
Revised: _____
Drawing No. 6

ENGINEER IN CHARGE: [Signature]

CONTACT INFORMATION
88 INVERNESS CIRCLE EAST, SUITE B-101
ENGLEWOOD, CO 80112
(720) 206-6831
OPERDUE@STRATEGICSITEDESIGNS.COM
ATTENTION: CHRISTOPHER PERDUE, P.E., M.B.A.

STRATEGIC SITE DESIGNS

**TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY**

DETAILS

REV	DESCRIPTION	DATE

JOB NO: 2407-001
ORIGINAL ISSUE: 3/6/2024
DESIGN BY: AS
CHECKED BY: MDC
SCALE: NA
SHEET NUMBER
C8.00



CONTACT INFORMATION
 88 INVERNESS CIRCLE EAST, SUITE B-101
 ENGLEWOOD, CO 80112
 (720) 206-6831
 CPERDUE@STRATEGICSITEDESIGNS.COM
 ATTENTION: CHRISTOPHER PERDUE, P.E., M.B.A.

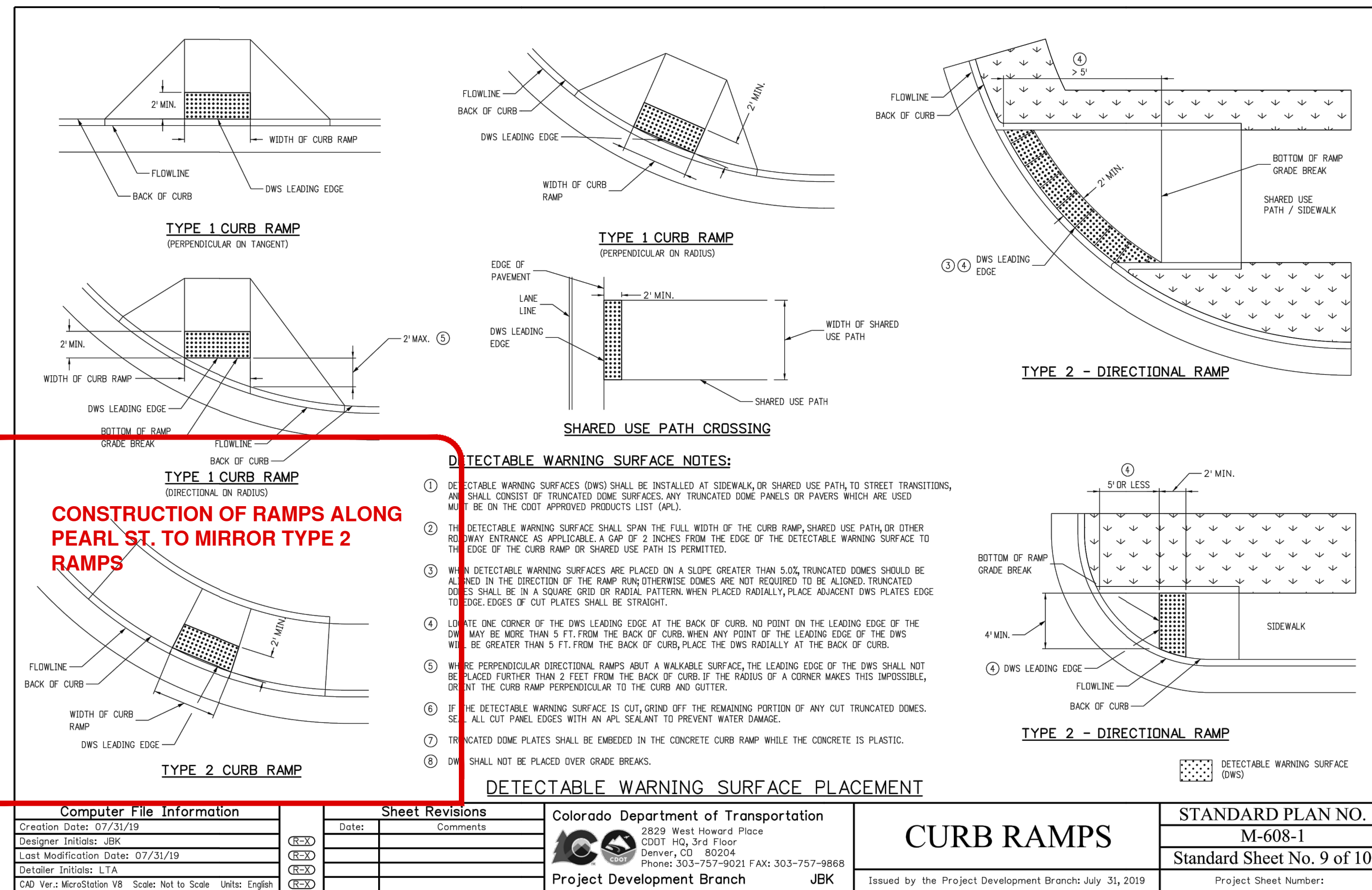
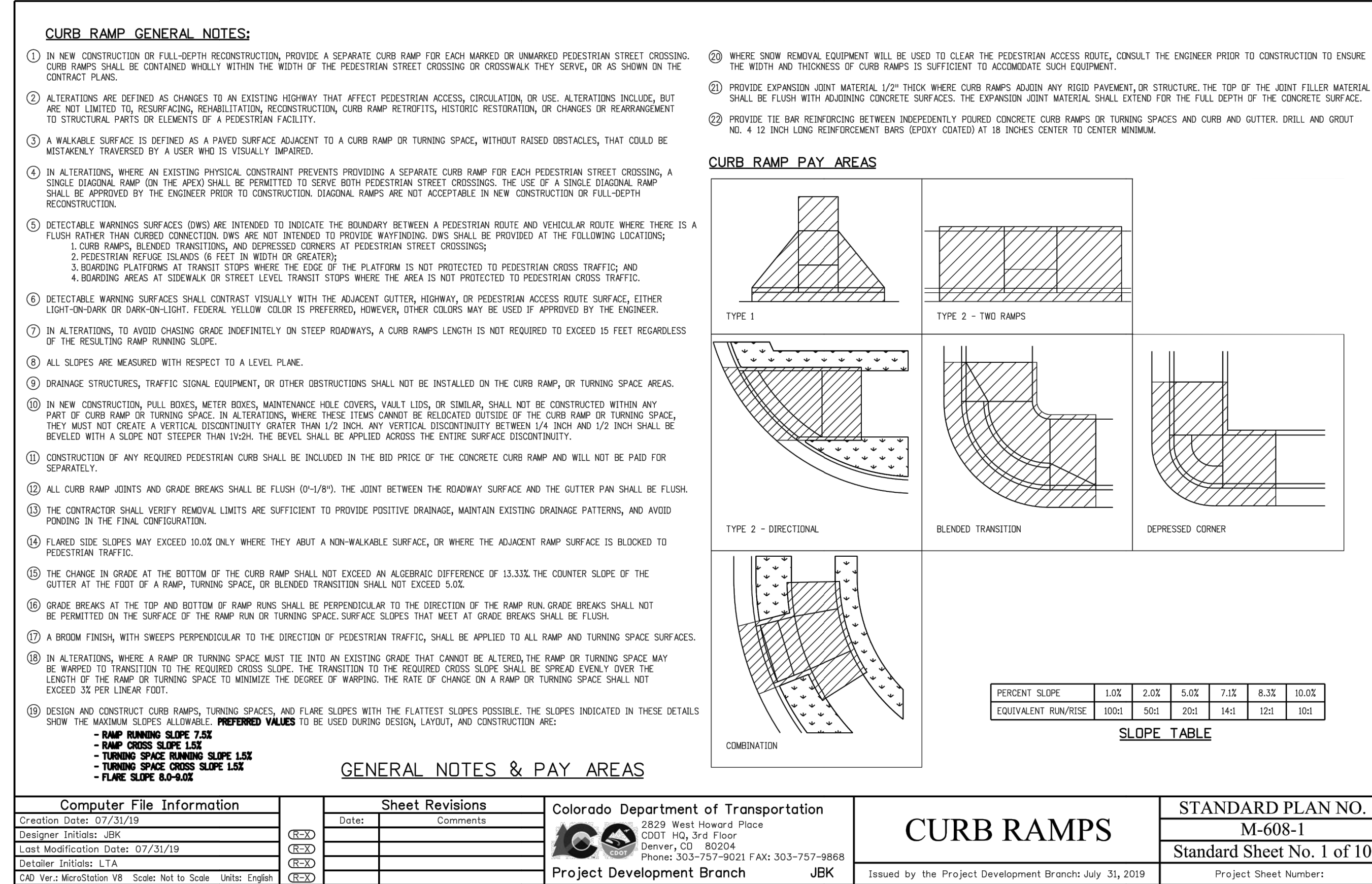
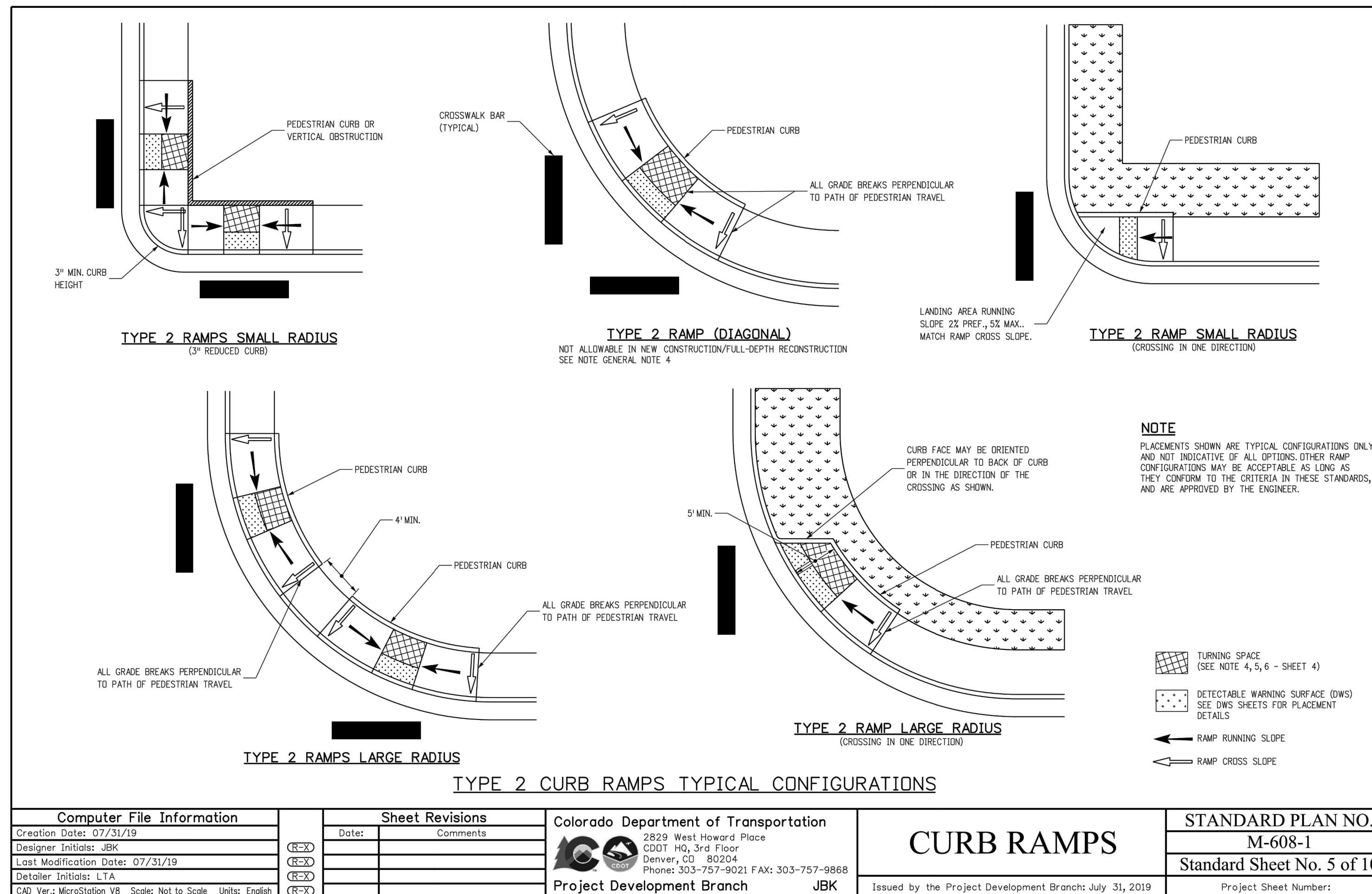


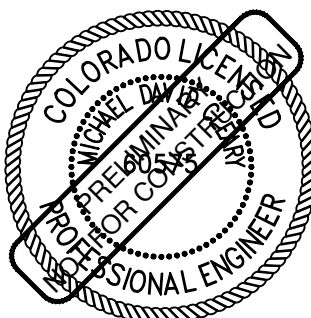
TOWN OF BENNETT
 PEARL STREET
 BENNETT, COLORADO
 ADAMS COUNTY

DETAILS

REV	DESCRIPTION	DATE

JOB NO: 2407-001
 ORIGINAL ISSUE: 3/6/2024
 DESIGN BY: AS
 CHECKED BY: MDC
 SCALE: NA
 SHEET NUMBER





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ENGLEWOOD, CO 80112
STRATEGIC SITE DESIGNS
OPERDUE@STRATEGICSITEDSIGNS.COM
ATTENTION: CHRISTOPHER PERDUE, P.E., M.B.A.



TOWN OF BENNETT
PEARL STREET
BENNETT, COLORADO
ADAMS COUNTY

DETAILS

REV	DESCRIPTION	DATE

JOB NO:	2407-001
ORIGINAL ISSUE:	3/6/2024
DESIGN BY:	AS
CHECKED BY:	MDC
SCALE:	NA
SHEET NUMBER	C8.03

**33063
2\"**

DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
T: 303.426.6000
F: 303.426.6100
denverwater.org

DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
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F: 303.426.6100
denverwater.org

DENVER WATER
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F: 303.426.6100
denverwater.org

**33062
TEMPORARY BLOWOFF
INSTALLATION FOR
12\"**

DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
T: 303.426.6000
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denverwater.org

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denverwater.org

DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
T: 303.426.6000
F: 303.426.6100
denverwater.org

**33064
VALVE OPERATION**

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denverwater.org

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denverwater.org

DENVER WATER
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F: 303.426.6100
denverwater.org

**05010
VALVE BOX
SUPPORT PLATE**

DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
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denverwater.org

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denverwater.org

**33144
LENGTH OF RESTRAINED PIPE**

NOMINAL PIPE Ø	FITTING			
	90° BEND, TEE, DEAD END, VALVE	45° BEND	22 1/2° BEND	11 1/4° BEND
4"	30"	9"	2"	1"
6"	46"	13"	3"	1"
8"	61"	18"	5"	1"
12"	90"	26"	7"	2"
16"	116"	34"	9"	2"
20"	141"	41"	11"	3"

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denverwater.org

**33206
PLAN, PROFILE, & LOCATION
FOR FIRE HYDRANTS,
MAINS,
& VALVES**

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F: 303.426.6100
denverwater.org

**33215
STORM AND SANITARY
SEWER CROSSING**

DENVER WATER
1600 West 12th Ave
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denverwater.org

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**03001
CONCRETE KICKBLOCKS**

NOMINAL PIPE Ø	BENDS				TEE OR DEAD END
	11 1/4"	22 1/2"	45°	90°	
4"	1.00	1.00	1.00	1.75	1.25
6"	1.00	1.25	2.25	3.25	2.75
8"	1.00	2.00	3.75	6.75	5.00
12"	2.25	4.25	8.25	15.00	10.75
16"	3.25	7.50	14.25	26.50	18.75
20"	5.00	9.75	19.25	35.50	25.00

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denverwater.org

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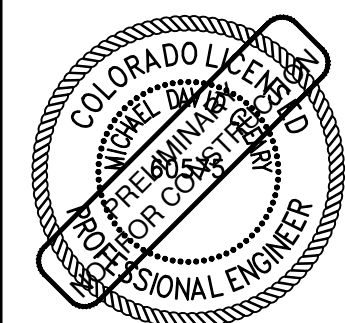
DENVER WATER
1600 West 12th Ave
Denver, Colorado 80204-3412
T: 303.426.6000
F: 303.426.6100
denverwater.org

**33265
2\"**

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F: 303.426.6100
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 ATTENTION: CHRISTOPHER PERDUE, P.E., M.B.A.

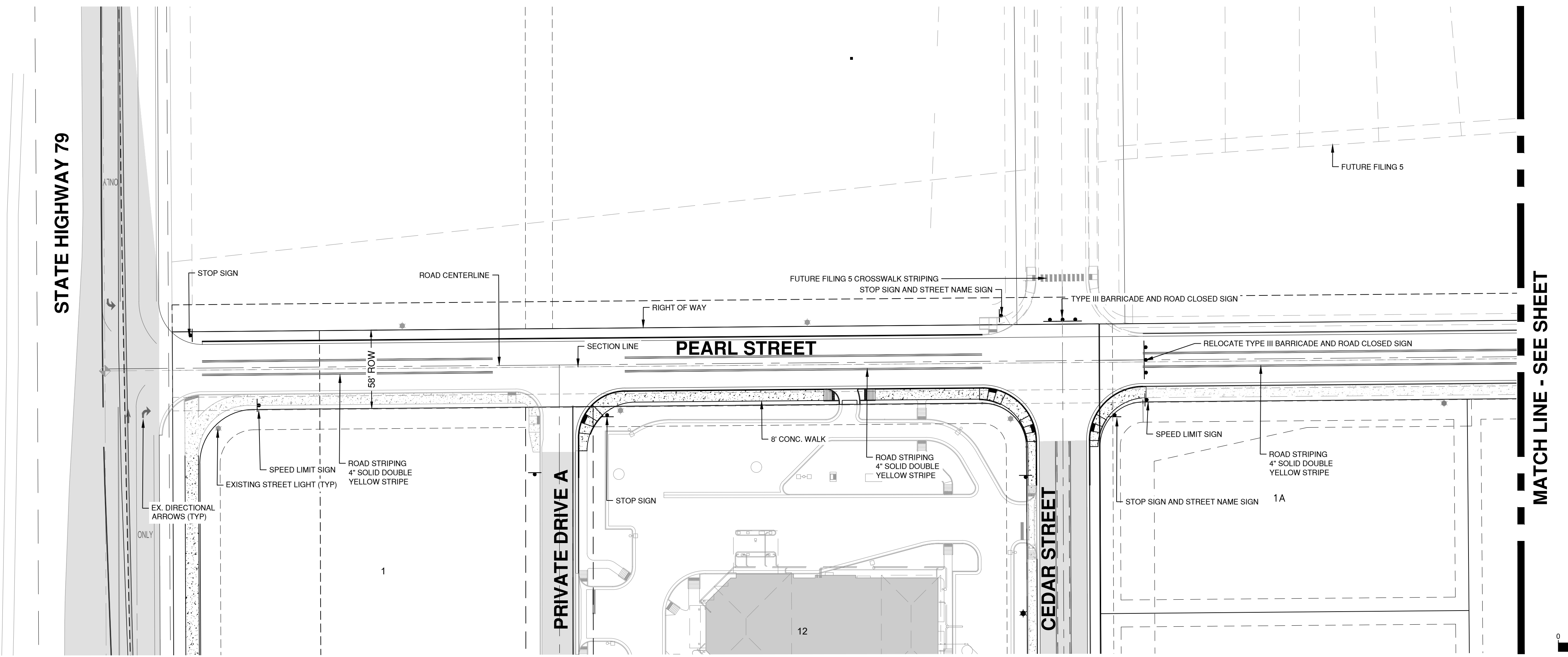


TOWN OF BENNETT
 PEARL STREET
 BENNETT, COLORADO
 ADAMS COUNTY

SIGNAGE AND STRIPING PLAN

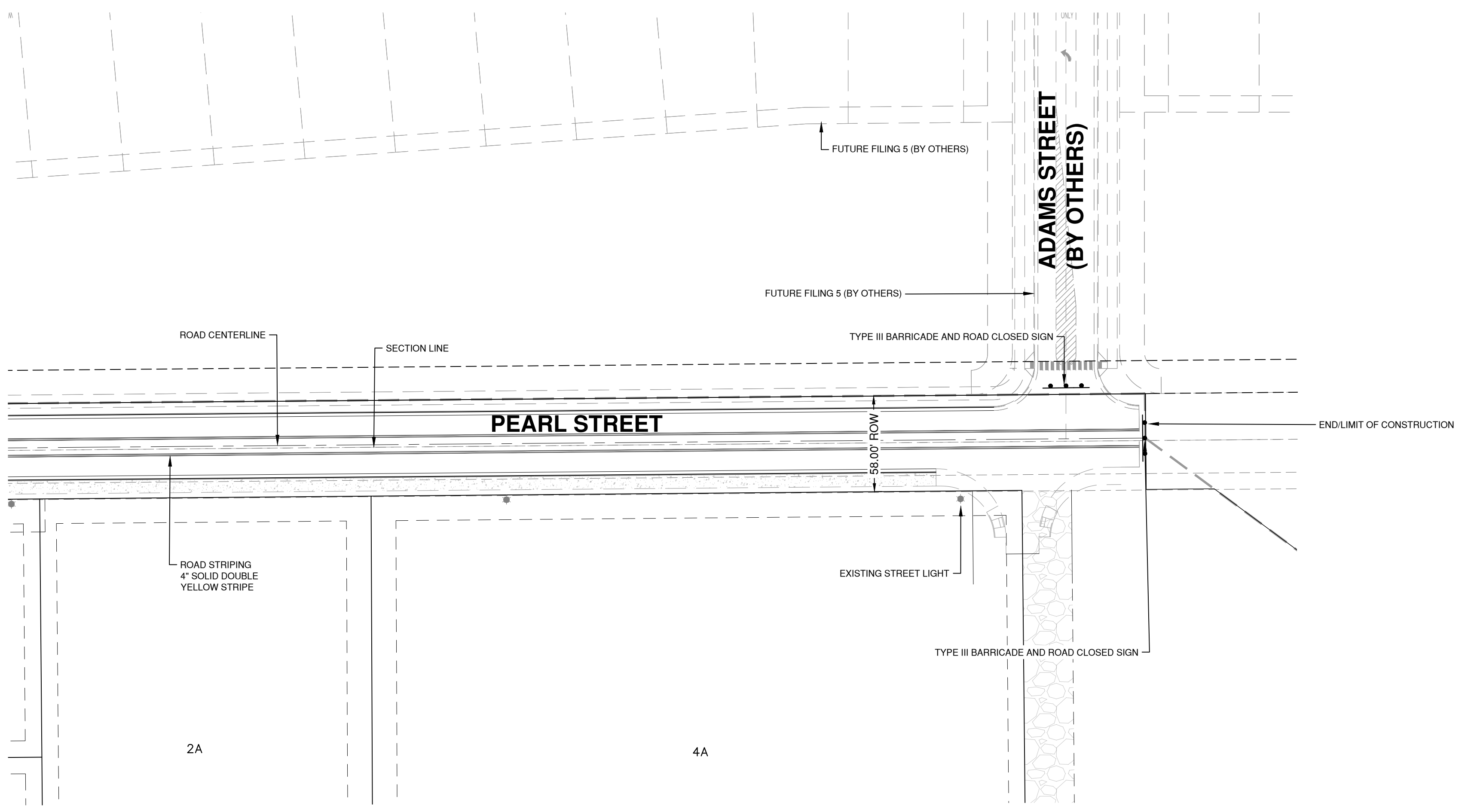
REV	DESCRIPTION	DATE

JOB NO: 2407-001
 ORIGINAL ISSUE: 3/6/2024
 DESIGN BY: AS
 CHECKED BY: MDC
 SCALE: 1"=50'
 SHEET NUMBER
C9.00



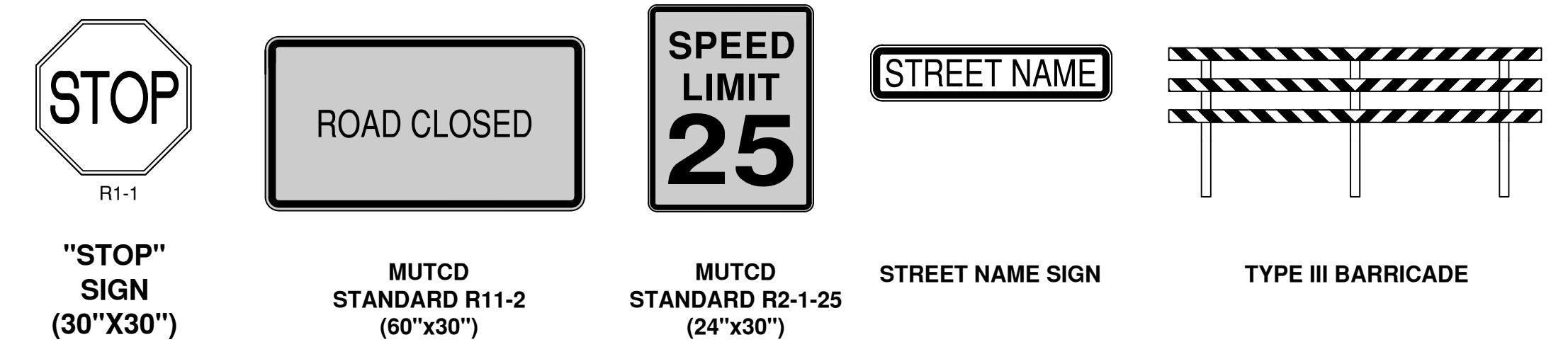
PEARL STREET - SIGNAGE AND STRIPING PLAN VIEW

SCALE: 1" = 50'



PEARL STREET - SIGNAGE AND STRIPING

SCALE: 1" = 50'



TYPICAL ON-SITE SIGNAGE

NTS

- NOTE:
- ALL SIGNS SHALL CONFORM TO MUTCD AND/OR TOWN OF BENNETT STANDARDS AND SPECIFICATIONS.
 - ATTACH SIGNAGE TO LIGHTPOLE WHERE POSSIBLE.



LEGEND

	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	RIGHT OF WAY
	PROPERTY LINE
	VERTICAL CURB AND GUTTER
	CONCRETE (PER SECTIONS THIS SHEET)
	UTILITY EASEMENT
	VERTICAL CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	EXISTING FIRE HYDRANT
	EX. STORM MANHOLE